

HOME SWEET HOME INSPECTIONS

"The Best Choice For All Your Inspections Needs"

6212 E. Oak St Tucson AZ 85711

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CONFIDENTIAL INSPECTION REPORT

PREPARED FOR:

Your Name Here

INSPECTION ADDRESS

399 N Doeskin Place, Tucson, AZ 85748

INSPECTION DATE

8/9/2014 8:00 am to 10:30 am



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SUMMARY REPORT

Client: Your Name Here

Inspection Address: 399 N Doeskin Place, Tucson, AZ 85748

Inspection Date: 8/9/2014 Start: 8:00 am End: 10:30 am

Weather: Clear and Dry

Temperature: 80-90 Degrees

Inspected by: Mark Ashby

This summary report will provide you with a preview of the components or conditions that need service or a second opinion, but it is not definitive. Therefore, it is essential that you read the full report. Regardless, in recommending service we have fulfilled our contractual obligation as generalists, and therefore disclaim any further responsibility. However, service is essential, because a specialist could identify further defects or recommend some upgrades that could affect your evaluation of the property.

This inspection report is available on the Internet
for 90 days from the date of the inspection.
<http://www.inspectvue.com>

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Narrative Color Legend: – Normal Text ✓ Components / Conditions Needing Service
 m Informational Conditions □ Blue Text

Exterior

Site & Other Observations **Renovations & Additions**

Informational Conditions

- 1.1 - m Additions have been made to this property. Therefore, you should request documentation that should include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.

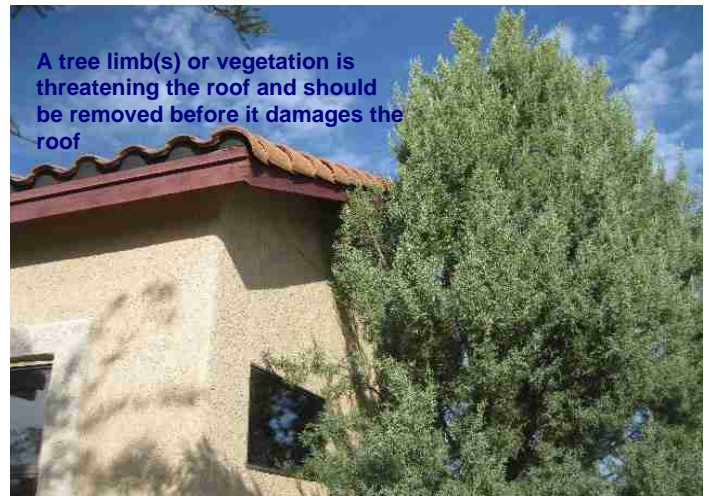
Additions have been made to the rear patio cover and you should request documentation for your records - *Continued*



Landscaping Observations

Components and Conditions Needing Service

1.2 - v A tree limb(s) or vegetation threatening the roof at the North & East side and should be removed by an arborist before it further damages the roof.



Grading & Drainage

General Comments

Informational Conditions

1.3 - m Water can be destructive and foster conditions that are deleterious to health. For this reason, the ideal property will have soils that slope away from the residence and the interior floors will be several inches higher than the exterior grade. Also, the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system, but if a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and

recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. The sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have during our limited visit, however we have confirmed moisture intrusion in residences when it was raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that can have an adverse affect on health.

Interior-Exterior Elevations

Informational Conditions

1.4 - m There is an adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space, but of course we cannot guarantee that.

Drainage Mode

Informational Conditions

1.5 - m Drainage is facilitated by soil percolation hard surfaces and full or partial gutters, which is not ideal but we did not see any evidence of moisture threatening the living space.

House Wall Finish

House Wall Finish Type

Informational Conditions

1.6 - m The house walls are finished with stucco.

House Wall Finish Observations

Informational Conditions

1.7 - m The exterior wall finish is in acceptable condition. Note: tiny cracks around windows, doors, and elsewhere result from movement and the curing process and have little significance.

1.8 - m There are typical cracks in the stucco on all sides of structure, which you should view for yourself. All cracks result from movement, and are structural in that respect, but the vast majority of them have only a cosmetic significance. However, you may wish to have this confirmed by a specialist.

Components and Conditions Needing Service

1.9 - v Stucco damage noted at the front entrance. (Recommend repairing damaged stucco to prevent moisture intrusion & further deterioration).

Stucco damage noted at - *Continued*



- 1.10 - √ The paint is peeling in places, as a result of inadequate bonding or normal wear around structure. We recommend repair to prevent further deterioration.
- 1.11 - √ Portions of the wood siding and trim have moisture & wood damage, and should be evaluated by a termite inspector.



- 1.12 - √ There are separations or nail-pops on wood siding that needs to be serviced. We recommend repair.
- 1.13 - √ The wood siding on rear patio structure(s) is down to the soil or grade without the benefit of a weep-screed. Weep screed is a horizontal strip of metal that isolates the wood siding walls from the foundation and allows them to move independent of the foundation. It isolates the siding from the soil and inhibits the wicking effect of moisture being drawn up into the wood siding which in turn creates moisture wood deterioration.
- 1.14 - √ Moisture & Wood damage noted on garage side door frame . We recommend further review & repair.



Exterior Components

General Comments

Informational Conditions

1.15 - m It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces, and it is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We have discovered leaking windows while it was raining that may not have been apparent otherwise. Regardless, there are many styles of windows but only two basic types, single and dual-glazed. Dual-glazed windows are superior, because they provide a thermal as well as an acoustical barrier. However, the hermetic seals on these windows can fail at any time, and cause condensation to form between the panes. Unfortunately, this is not always apparent, which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards, we test a representative number of unobstructed windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

Driveways

Informational Conditions

1.16 - m The driveway is in acceptable condition.

Walkways

Informational Conditions

1.17 - m The walkways are in acceptable condition.

Yard Walls

Informational Conditions

1.18 - m The yard walls may have some cosmetic damage but are functional.

1.19 - m There are typical stress fractures or grout joint separations in the block yard walls, but they are reasonably firm and not in any danger of falling.

There are typical stress fractures or grout joint separations in the block yard walls - *Continued*



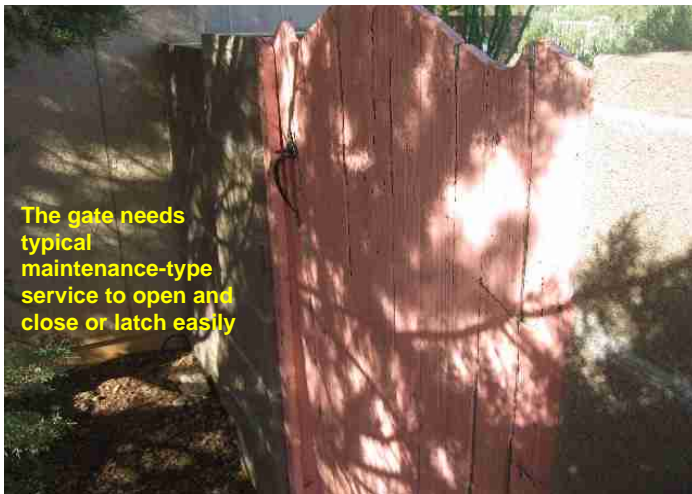
Fences & Gates

Informational Conditions

1.20 - m The fences and gates are serviceable, but have damage commensurate with their age.

Components and Conditions Needing Service

1.21 - v The gate needs typical maintenance-type service, to open and close or latch easily

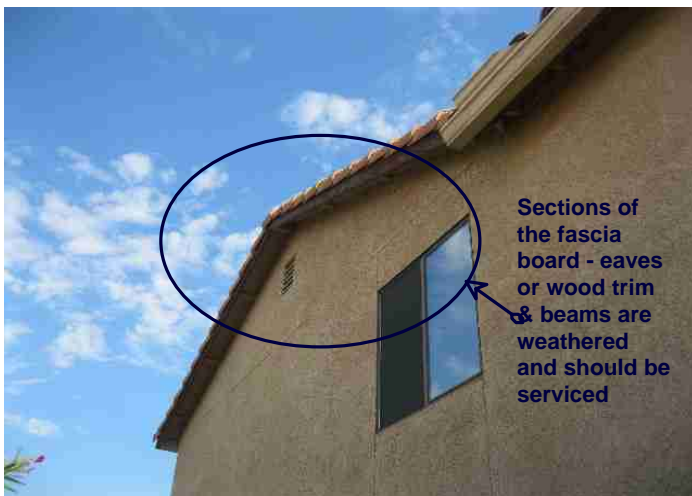


Fascia & Trim

Components and Conditions Needing Service

1.22 - v Sections of the fascia board - eaves or wood trim are weathered , and should be serviced to prevent further deterioration.

Sections of the fascia board - eaves or wood trim & beams are weathered and should be serviced - *Continued*



Exterior Wooden Doors

Informational Conditions

1.23 - m The exterior doors are in acceptable condition.

Patio Covers or Gazebos

Informational Conditions

1.24 - m The rear yard cover has substandard aspects, which imply that it could have been built without the benefit of a permit. We can elaborate on this issue, but you should request the permit from the sellers, or seek a second opinion.

Components and Conditions Needing Service

1.25 - v There is damage to the patio cover that should be evaluated by the termite inspector.

1.26 - v There is moisture wood damage in the patio cover. Recommend further review & repair.

There is moisture wood damage in the patio cover - *Continued*



1.27 - √ Extension cord wiring being used as permanent application for lighting noted at rear yard. We recommend repair.



1.28 - √ Wood damage noted at rear support beam. We recommend repair.

Wood damage noted at rear patio support beam - *Continued*



1.29 - √ Paint deterioration noted on interior patio. We recommend repair.

1.30 - √ Recommend installing weep holes @ rear patio for drainage.

Porches or Stoops

Informational Conditions

1.31 - m The porch(s) are in acceptable condition.

Balconies Guardrails etc

Informational Conditions

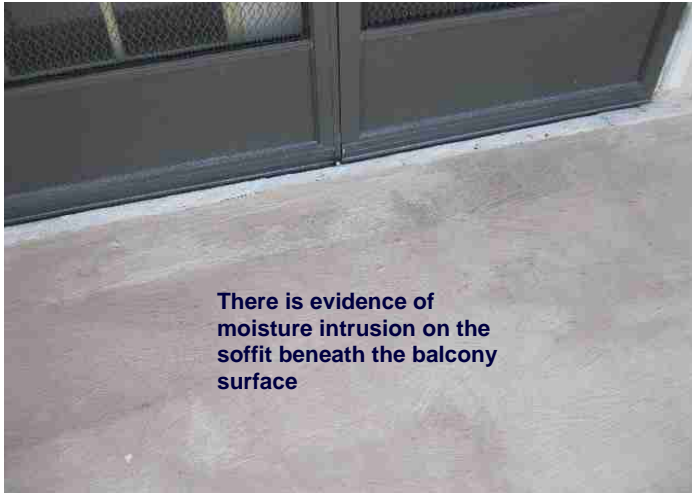
1.32 - m There is no visible flashing between the balcony surface and the house wall, which is a point susceptible to moisture intrusion and should be monitored.

1.33 - m The balcony surface is sheathed with a mineral cap sheet, or a rolled-roofing material, which is not designed for foot traffic and should not be used as such or expected to last as long as a conventional balcony surface.

Components and Conditions Needing Service

1.34 - ↯ There is evidence of moisture intrusion on the soffit beneath the balcony surface, possibly indicating that the waterproof membrane beneath the balcony surface has failed. You should ask the sellers about this, or have the balcony evaluated by a specialist.

There is evidence of moisture intrusion on the soffit beneath the balcony surface - *Continued*



Windows

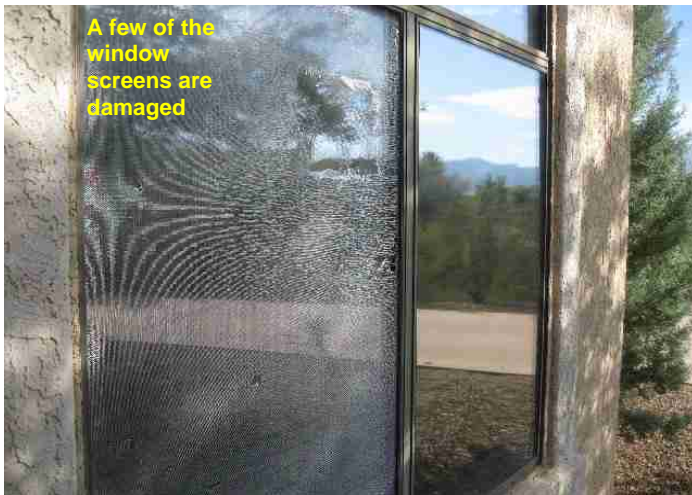
Informational Conditions

1.35 - m The windows are in acceptable condition. However, in accordance with industry standards, we do not test every window in the house, and particularly if the house is furnished. We do test every unobstructed window in every bedroom to ensure that at least one facilitates an emergency exit.

Screens

Components and Conditions Needing Service

1.36 - v A few of the window screens are damaged, and you may wish to have them repaired.



Outlets

Informational Conditions

1.37 - m The outlets that were tested are functional and include ground-fault protection.

Components and Conditions Needing Service

1.38 - v A ground fault protected outlet in the rear yard did not respond, and should be serviced.



Lights

Informational Conditions

1.39 - m The lights outside the doors of the residence are functional. However, we do not inspect or evaluate decorative lights.

Components and Conditions Needing Service

1.40 - v We do not evaluate low-voltage or decorative lights, but they are in general disrepair and need service.

Structural

Various Hard Surfaces

Common Observations

Informational Conditions

2.1 - m There are common settling, or curing, cracks in the hard surfaces. This is somewhat predictable, and is typically not regarded as being structurally significant, but we are not specialists and you may wish to have this confirmed by one.

Structural Elements

Identification of Wall Structure

Informational Conditions

2.2 - m The interior walls are conventionally framed with wooden studs.

Identification of Floor Structure

Informational Conditions

2.3 - m The floor structure consists of a poured slab that could include reinforcing steel.

Identification of Ceiling Structure

Informational Conditions

2.4 - m The ceiling structure consists of standard joists.

Identification of Roof Structure

Informational Conditions

2.5 - m The roof structure is conventionally framed with rafters, purlins, collar-ties, et cetera.

Roof

Concrete Tile Roof

General Comments

Informational Conditions

3.1 - m Concrete tile roofs are among the most expensive and durable of all roofs, and are warranted by the manufacturer to last for forty years or more, but are usually only guaranteed against leaks by the installer from three to five years. Like other pitched roofs, they are not designed to be waterproof, only water resistant, and are dependant on the integrity of the waterproof membrane beneath them, which cannot be seen without removing the tiles, but which can be split by movement, deteriorated through time, or by ultra-violet contamination. Significantly, although there is some leeway in installation specifications, the type and quality of membranes that are installed can vary from one installer to another, and leaks do occur. The majority of leaks result when a roof has not been well maintained or kept clean, and we recommend servicing them annually.

Method of Evaluation

Informational Conditions

3.2 - m We evaluated the roof and its components by walking on its surface.

Estimated Age

Informational Conditions

3.3 - m The roof appears to be the same age as the residence, or 20 years old.

Roofing Material

Informational Conditions

3.4 - m The roof is in acceptable condition, but this is not a guarantee against leaks. For a guarantee, you would need to have a roofing company perform a water-test and issue a roof certification.

With Flat Roofed Sections

Informational Conditions

3.5 - m The roof includes a flat-roofed section, and flat roofs can be problematic if they are not kept clean. Water ponds on most of them, particularly along the leading edges, and will only be dispersed by evaporation. Therefore they must be kept clean and inspected regularly. This is important because our service does not include any guarantee against leaks.

Flashings

Informational Conditions

3.6 - m The roof flashing's are in acceptable condition.

Components and Conditions Needing Service

3.7 - v The roof flashing's need to be sealed or serviced above main entrance. They are comprised of metal that seals valleys and vents and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashing's on a layered roof, which are covered by the roofing material and

which are even more susceptible to leaks.



Gutters & Drainage

Informational Conditions

- 3.8 - m The gutters appear to be in acceptable condition. However, without water in them it is difficult to judge whether they are correctly pitched to direct water into the downspouts, but they should function as they were intended.
- 3.9 - m The roof only has partial gutters and full gutters are recommended for the general welfare of the residence and its foundation, inasmuch as moisture is a perennial problem.

Plumbing

Potable Water Supply Pipes

Water Main Shut-off Location

Informational Conditions

- 5.1 - m The main water shut-off valve is located at the front of the residence.

The main water shut-off valve is located at the front of the residence - *Continued*



Pressure Regulators

Informational Conditions

5.2 - m A functional pressure regulator is in place on the plumbing system.

Pressure Relief Valves

Informational Conditions

5.3 - m There is a pressure relief valve on the plumbing system, as required.

Copper Water Pipes

Informational Conditions

5.4 - m Water line material not determined within structure . Due to age of residence there is a possibility of Polybutylene water lines installed. The only way to determine this is to remove drywall. We recommend the further review, advice and services of a plumbing contractor.

Pipe Insulation

Components and Conditions Needing Service

5.5 - v Recommend installing insulation at main water shut off valve to prevent water supply line from freezing.

General Gas Components

Gas Main Shut-Off Location

Informational Conditions

5.6 - m The gas main shut-off is located on the garage side. You should be aware that gas leaks are not uncommon, particularly underground ones, and that they can be difficult to detect without the use of sophisticated instruments, which is why natural gas is odorized in the manufacturing process. Therefore, we recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak.

The gas main shut-off is located on the garage side - *Continued*



Gas Seismic Shut-Off Valve

Informational Conditions

5.7 - m The gas main is equipped with a seismic shut-off valve, which is designed to automatically shut off gas in the event of a seismic activity.

Gas Supply Pipes

Informational Conditions

5.8 - m The visible portions of the gas pipes appear to be in acceptable condition.

Gas Water Heaters

General Comments

Informational Conditions

5.9 - m There are a wide variety of residential water heaters that range in capacity from fifteen to one hundred gallons. They can be expected to last at least as long as their warranty, or from five to eight years, but they will generally last longer. However, few of them last longer than fifteen or twenty years and many eventually leak. So it is always wise to have them installed over a drain pan plumbed to the exterior. Also, it is prudent to flush them annually to remove minerals that include the calcium chloride bi-product of many water softening systems. The water temperature should be set at a minimum of 110 degrees Fahrenheit to kill microbes and a maximum of 140 degrees to prevent scalding. Also, water heaters can be dangerous if they are not seismically secured and equipped with either a pressure/temperature relief valve and discharge pipe plumbed to the exterior, or a Watts 210 gas shut-off valve.

Age Capacity & Location

Informational Conditions

5.10 - m Hot water is provided by a 6 year old, 40 gallon heater that is located in a hall closet.

Common Observations

Informational Conditions

5.11 - m The water heater(s) is functional.

Water Shut-Off Valve & Connectors

Informational Conditions

5.12 - m The shut-off valve and water connectors are functional.

Gas Shut-Off Valve & Connector

Informational Conditions

5.13 - m The gas control valve and its connector at the water heater are functional.

Vent Pipe & Cap

Informational Conditions

5.14 - m The vent pipe is functional.

Relief Valve & Discharge Pipe

Informational Conditions

5.15 - m The water heater is equipped with a mandated pressure-temperature relief valve.

Drain Pan & Discharge Pipe

Components and Conditions Needing Service

5.16 - √ The water heater on the second floor does not have a drain pan, and we recommend having one installed that is plumbed to the exterior, or otherwise engineered to prevent or minimize moisture damage from a leak.



Combustion Air Vents

Informational Conditions

5.17 - m The water heater does have appropriate combustion-air vents.

Irrigation or Sprinklers

Automatic Sprinklers

Informational Conditions

5.18 - m We do not evaluate sprinkler systems, which should be demonstrated by the sellers.

Hose Bibs

Informational Conditions

5.19 - m The hose bibs are functional, but we may not have located and tested every one on the property.

Components and Conditions Needing Service

5.20 - v The hose bibs that we tested are functional, but do not include anti-siphon valves. These valves are relatively inexpensive, are required by current standards. However, we may not have located and tested every hose bib on the property

Waste & Drainage Systems

General Comments

Informational Conditions

5.21 - m We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

Type of Material

Informational Conditions

5.22 - m The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or ABS.

Drain Waste & Vent Pipes

Informational Conditions

5.23 - m Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

Electrical

Main Panel

General Comments

Informational Conditions

6.1 - m National safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

Service Entrance

Informational Conditions

6.2 - m The main conductor lines are underground, or part of a lateral service entrance. This is characteristic of modern electrical services but, inasmuch as the service lines are underground and cannot be seen,

they are not evaluated as part of our service.

Panel Size & Location

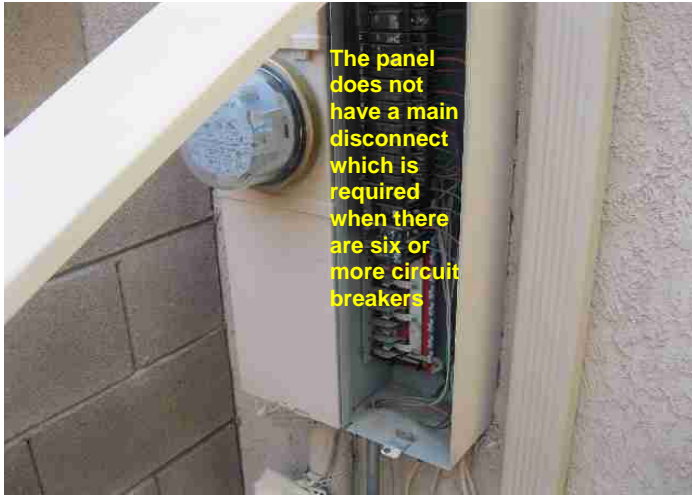
Informational Conditions

6.3 - m The residence is served by a 220 volt panel located in the garage side yard.

Main Panel Observations

Components and Conditions Needing Service

6.4 - v The panel does not have a main disconnect, which is required when there are six or more circuit breakers.



6.5 - v Various circuits within the panel are not labeled but should be, so that the appropriate load calculations and breaker sizes could be determined.

Panel Cover Observations

Components and Conditions Needing Service

6.6 - v The interior cover panel has voids or open knockouts that should be covered.



Wiring Observations

Informational Conditions

6.7 - m The visible portions of the wiring has no visible deficiencies.

6.8 - m The residence is wired predominantly with a modern vinyl conduit known as Romex.

Circuit Breakers

Informational Conditions

6.9 - m There are no visible deficiencies with the circuit breakers.

Components and Conditions Needing Service

6.10 - v Various circuits are not labeled, which is recommended.

Grounding

Informational Conditions

6.11 - m The panel is grounded to a gas pipe. Current standards require the panel to be double-grounded, and you may wish to consider having this done as a safety upgrade. However, such an upgrade is not currently mandated.

Heat-A/C

HVAC Split Systems

Age & Location

Informational Conditions

8.1 - m Central heat and air-conditioning are provided by a single split-system, consisting of a 3 year-old furnace with an evaporator coil that is located in the hallway closet. and a 3 year-old condensing coil that is located on the side yard..

Common Observations

Informational Conditions

8.2 - m The split-system(s) is newer and functional. Such systems are designed to last approximately twenty years, but they should be serviced bi-annually and have their filters changed every one to two months.

Circulating Fan

Informational Conditions

8.3 - m The circulating fan(s) is clean and functional.

Gas Valve & Connector

Informational Conditions

8.4 - m The gas valve and connector are in acceptable condition.

Combustion-Air Vents

Informational Conditions

8.5 - m The combustion-air vents appear to be adequate to support complete combustion.

Return-Air Compartment

Informational Conditions

8.6 - m The return-air compartment is in acceptable condition. Recommend cleaning return filter(s) monthly.

Evaporator Coil

Informational Conditions

8.7 - m The evaporator coil(s) are functional.

Condensate Drainpipe

Informational Conditions

8.8 - m The condensate drainpipe discharges correctly outside the residence.

Drip Pan

Informational Conditions

8.9 - m The drip pan(s) are functional.

Condensing Coil

Informational Conditions

8.10 - m The condensing coil(s) responded to the thermostat and is functional.

Condensing Coil Disconnect

Informational Conditions

8.11 - m The electrical disconnect at the condensing coil(s) are functional.

Refrigerant Lines

Informational Conditions

8.12 - m The refrigerant lines are in acceptable condition.

Differential Temperature Readings

Informational Conditions

8.13 - m The air-conditioning responded and achieved an acceptable differential temperature split between the air entering the system and that coming out, of eighteen degrees or more.

Thermostats

Informational Conditions

8.14 - m The thermostat(s) is functional.

Registers

Informational Conditions

8.15 - m The registers are reasonably clean and functional.

Flexible Ducting

Informational Conditions

8.16 - m The ducts have no visible deficiencies. They are a modern flexible type that are comprised of an outer plastic sleeve and a clear inner liner that contains fiberglass insulation.

8.17 - m The ducts are a modern flexible type that are comprised of an outer plastic sleeve and a clear inner liner that contains fiberglass insulation. However, significant portions of the ducts are concealed and cannot be viewed.

Kitchen

Kitchen

Flooring

Informational Conditions

10.1 - m The floor has no significant defects.

Walls & Ceiling

Informational Conditions

10.2 - m The walls and ceiling are in acceptable condition.

Dual-Glazed Windows

Informational Conditions

10.3 - m The windows are functional.

Sink & Countertop

Informational Conditions

10.4 - m The sink and countertop are functional.

Cabinets

Informational Conditions

10.5 - m The cabinets are functional, and do not have any significant damage.

Valves & Connectors

Informational Conditions

10.6 - m The valves and connectors below the sink are functional. However, they are not in daily use and will inevitably become stiff or frozen.

Faucet

Informational Conditions

10.7 - m The sink faucet is functional.

Components and Conditions Needing Service

10.8 - v The hand sprayer on the faucet is not secured. Recommend repair.



Trap and Drain

Informational Conditions

10.9 - m The trap and drain are functional.

Garbage Disposal

Informational Conditions

10.10 - m The garbage disposal is functional.

Gas Range

Informational Conditions

10.11 - m The gas range is functional, but was neither calibrated nor tested for its performance.

Exhaust Fan or Downdraft

Informational Conditions

10.12 - m The exhaust fan is functional and a type that vents internally.

Lights

Informational Conditions

10.13 - m The lights are functional.

Outlets

Informational Conditions

10.14 - m The outlets that were tested are functional and include ground-fault protection.

Living

Living Room

No Recommended Service

Informational Conditions

11.1 - m We have evaluated the living room, and found it to be in acceptable condition.

Flooring

Informational Conditions

11.2 - m The floor has no significant defects.

Walls & Ceiling

Informational Conditions

11.3 - m The walls and ceiling are in acceptable condition.

Dual-Glazed Windows

Informational Conditions

11.4 - m The windows are functional.

Lights

Informational Conditions

11.5 - m The lights are functional.

Outlets

Informational Conditions

11.6 - m The outlets that were tested are functional.

Dining Room

No Recommended Service

Informational Conditions

11.7 - m We have evaluated the dining room, and found it to be in acceptable condition.

Flooring

Informational Conditions

11.8 - m The floor has no significant defects.

Walls & Ceiling

Informational Conditions

11.9 - m The walls and ceiling are in acceptable condition.

Dual-Glazed Windows

Informational Conditions

11.10 - m The windows are functional.

Lights

Informational Conditions

11.11 - m The lights are functional.

Outlets

Informational Conditions

11.12 - m The outlets that were tested are functional.

Hallway

Primary Hallway

Doors

Informational Conditions

12.1 - m The doors are functional.

Flooring

Informational Conditions

12.2 - m The floor has no significant defects.

Walls & Ceiling

Informational Conditions

12.3 - m The walls and ceiling are in acceptable condition.

Closets & Cabinets

Informational Conditions

12.4 - m The closet, or closets, is in acceptable condition.

Lights

Informational Conditions

12.5 - m The lights are functional.

Outlets

Informational Conditions

12.6 - m The outlets that were tested are functional.

Smoke Detector

Informational Conditions

12.7 - m The smoke detector is functional, but should be checked periodically.

Carbon Monoxide Detectors

Components and Conditions Needing Service

12.8 - v Recommend installing Carbon Monoxide Detectors in all hallway areas to bedrooms. (SAFETY ASPECT)



Stairs

Main Stairs

No Recommended Service

Informational Conditions

13.1 - m We have evaluated the stairs and landing, and found them to be in acceptable condition.

Walls & Ceiling

Informational Conditions

13.2 - m The walls and ceiling have no significant defects.

Handrails & Guardrails

Informational Conditions

13.3 - m If small children occupy or visit this residence, suitable precautions should be taken to safeguard them.

Lights

Informational Conditions

13.4 - m The lights are functional.

Outlets

Informational Conditions

13.5 - m The outlets that were tested are functional.

Bedrooms

Master Bedroom

Location

Informational Conditions

14.1 - m The master bedroom is located West.

No Recommended Service

Informational Conditions

14.2 - m We have evaluated the bedroom, and found it to be in acceptable condition.

Doors

Informational Conditions

14.3 - m The doors are functional.

Flooring

Informational Conditions

14.4 - m The floor has no significant defects.

Walls & Ceiling

Informational Conditions

14.5 - m The walls and ceiling are in acceptable condition.

Closets

Informational Conditions

14.6 - m The closet and its components are functional.

Lights

Informational Conditions

14.7 - m The lights are functional.

Outlets

Informational Conditions

14.8 - m The outlets that were unobstructed and able to be tested are functional.

Smoke Detector

Informational Conditions

14.9 - m The smoke detector is functional, but should be checked periodically.

1st Bedroom

Location

Informational Conditions

14.10 - m The 1st bedroom is located South.

No Recommended Service

Informational Conditions

14.11 - m We have evaluated the bedroom, and found it to be in acceptable condition.

Doors

Informational Conditions

14.12 - m The door is functional.

Flooring

Informational Conditions

14.13 - m The floor has no significant defects.

Walls & Ceiling

Informational Conditions

14.14 - m The walls and ceiling are in acceptable condition.

Dual-Glazed Windows

Informational Conditions

14.15 - m The windows that were unobstructed were checked, and found to be functional.

Closets

Informational Conditions

14.16 - m The closet and its components are functional.

Lights

Informational Conditions

14.17 - m The lights are functional.

Outlets

Informational Conditions

14.18 - m The outlets that were unobstructed and able to be tested are functional.

Smoke Detector

Informational Conditions

14.19 - m The smoke detector is functional, but should be checked periodically.

2nd Bedroom

Location

Informational Conditions

14.20 - nThe 2nd bedroom is located East.

No Recommended Service

Informational Conditions

14.21 - nWe have evaluated the bedroom, and found it to be in acceptable condition.

Doors

Informational Conditions

14.22 - nThe door is functional.

Flooring

Informational Conditions

14.23 - nThe floor has no significant defects.

Walls & Ceiling

Informational Conditions

14.24 - nThe walls and ceiling are in acceptable condition.

Dual-Glazed Windows

Informational Conditions

14.25 - nThe windows that were unobstructed were checked, and found to be functional.

Closets

Informational Conditions

14.26 - nThe closet and its components are functional.

Lights

Informational Conditions

14.27 - nThe lights are functional.

Outlets

Informational Conditions

14.28 - nThe outlets that were unobstructed and able to be tested are functional.

Smoke Detector

Informational Conditions

14.29 - nThe smoke detector is functional, but should be checked periodically.

Bathrooms

Hallway Bathroom

Size and Location

Informational Conditions

15.1 - m The main hallway bathroom is full.

Doors

Informational Conditions

15.2 - m The door is functional.

Flooring

Informational Conditions

15.3 - m The floor has no significant defects.

Components and Conditions Needing Service

15.4 - v The floor seams are lifting, due to moisture penetration or poor workmanship.



Walls & Ceiling

Informational Conditions

15.5 - m The walls and ceiling are in acceptable condition.

Dual-Glazed Windows

Informational Conditions

15.6 - m The window is functional but vents to rear addition. Recommend installing exhaust fan.

Cabinets

Informational Conditions

15.7 - m The cabinets are in acceptable condition.

Sink Countertop

Informational Conditions

15.8 - m The sink countertop is functional.

Sink Faucet Valves & Connectors Trap & Drain

Informational Conditions

15.9 - m The sink(s) and its components are functional.

Components and Conditions Needing Service

15.10 - v The mechanical sink stopper is incomplete and should be serviced.

Tub-Shower

Informational Conditions

15.11 - mThe tub/shower is functional.

Components and Conditions Needing Service

15.12 - vThe tub stopper is missing or incomplete, and should be repaired or replaced.

Toilet & Bidet

Informational Conditions

15.13 - mThe toilet is functional.

Exhaust Fan

Informational Conditions

15.14 - mThe exhaust fan is functional.

Lights

Informational Conditions

15.15 - mThe lights are functional.

Outlets

Informational Conditions

15.16 - mThe outlets are functional and include ground-fault protection. Recommend relocating away from toilet area.

Master Bathroom

Size and Location

Informational Conditions

15.17 - mThe master bathroom is a full, and is located adjacent to the master bedroom.

Doors

Informational Conditions

15.18 - mThe door is functional.

Flooring

Informational Conditions

15.19 - mThe floor has no significant defects.

Components and Conditions Needing Service

15.20 - vThe floor seams are lifting, due to moisture penetration or poor workmanship. We recommend repair.

The floor seams are lifting due to moisture penetration or poor workmanship - *Continued*



Walls & Ceiling

Informational Conditions

15.21 - The walls and ceiling are in acceptable condition.

Cabinets

Informational Conditions

15.22 - The cabinets are in acceptable condition.

Sink Countertop

Informational Conditions

15.23 - The sink countertop is functional.

Sink Faucet Valves & Connectors Trap & Drain

Informational Conditions

15.24 - The sink(s) and its components are functional.

Components and Conditions Needing Service

15.25 - The mechanical sink stopper is incomplete and should be serviced.

Tub-Shower

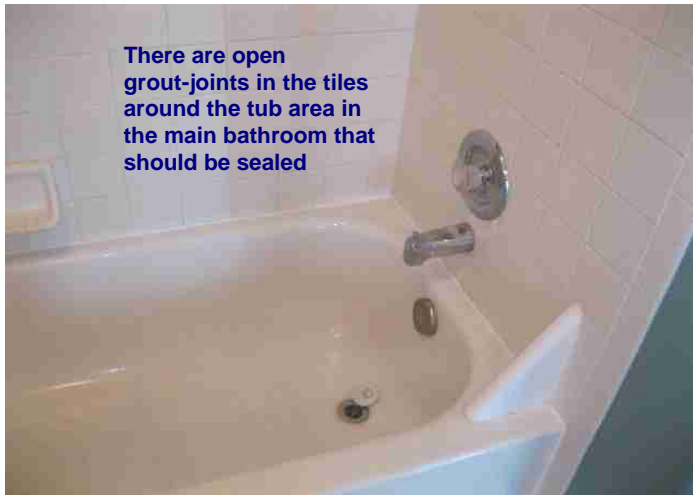
Informational Conditions

15.26 - The tub/shower is functional.

Components and Conditions Needing Service

15.27 - There are open grout-joints in the tiles around the tub area of the main bathroom that should be sealed to prevent moisture damage.

There are open grout-joints in the tiles around the tub area in the main bathroom that should be sealed - *Continued*



Toilet & Bidet

Informational Conditions

15.28 - mThe toilet is functional.

Exhaust Fan

Informational Conditions

15.29 - mThe exhaust fan is functional.

Lights

Informational Conditions

15.30 - mThe lights are functional.

Outlets

Informational Conditions

15.31 - mThe outlets are functional and include ground-fault protection.

Guest Bathroom

Size and Location

Informational Conditions

15.32 - mThe guest bathroom is quarter size, and is located down stairs.

No Recommended Service

Informational Conditions

15.33 - mWe have evaluated the main bathroom, and found it to be in acceptable condition.

Doors

Informational Conditions

15.34 - mThe door is functional.

Flooring

Informational Conditions

15.35 - nThe floor has no significant defects.

Walls & Ceiling

Informational Conditions

15.36 - nThe walls and ceiling are in acceptable condition.

Sink Countertop

Informational Conditions

15.37 - nThe sink countertop is functional.

Sink Faucet Valves & Connectors Trap & Drain

Informational Conditions

15.38 - nThe sink and its components are functional.

Toilet & Bidet

Informational Conditions

15.39 - nThe toilet is functional.

Exhaust Fan

Informational Conditions

15.40 - nThe exhaust fan is functional.

Lights

Informational Conditions

15.41 - nThe lights are functional.

Outlets

Informational Conditions

15.42 - nThe outlets are functional and include ground-fault protection.

Laundry

Laundry Area

Doors

Informational Conditions

16.1 - m The doors are functional.

Flooring

Informational Conditions

16.2 - m The floor has no significant defects.

Walls & Ceiling

Informational Conditions

16.3 - m The walls and ceiling are in acceptable condition.

Exhaust Fan

Components and Conditions Needing Service

16.4 - √ There is no exhaust fan installed in laundry area. We recommend repair.



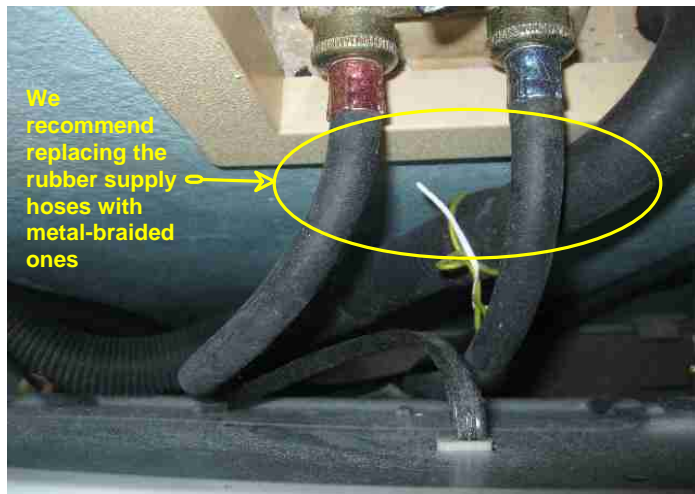
Valves & Connectors

Informational Conditions

16.5 - m The valves and connectors are functional. However, because they are not in daily use they typically become stiff or frozen.

Components and Conditions Needing Service

16.6 - √ The water supply to washing machines is commonly left on, and the rubber hoses that are commonly used to supply water can become stressed and burst. For this reason we recommend replacing all rubber supply hoses with metal-braided ones that are more resilient.



Trap & Drain

Informational Conditions

16.7 - m The trap and drain are functional.

220 Volt Receptacle

Informational Conditions

16.8 - m The 220 Volt Receptacle is functional.

Dryer Vent

Informational Conditions

16.9 - m The dryer vents vertically. The lint trap must be kept clean, because trapped lint can rapidly turn into a fire hazard.

Lights

Informational Conditions

16.10 - m The lights are functional.

Outlets

Informational Conditions

16.11 - m The outlets that were tested are functional.

Garage

Double-Car Garage

Parking Space

Informational Conditions

17.1 - m The parking space has been restricted by the addition of storage shelves or a workbench. Therefore, it would be prudent for you to see that the parking space is adequate to accommodate your vehicles.

Slab Floor

Informational Conditions

17.2 - m The garage is too full to permit a clear view of the slab

Walls & Ceiling

Informational Conditions

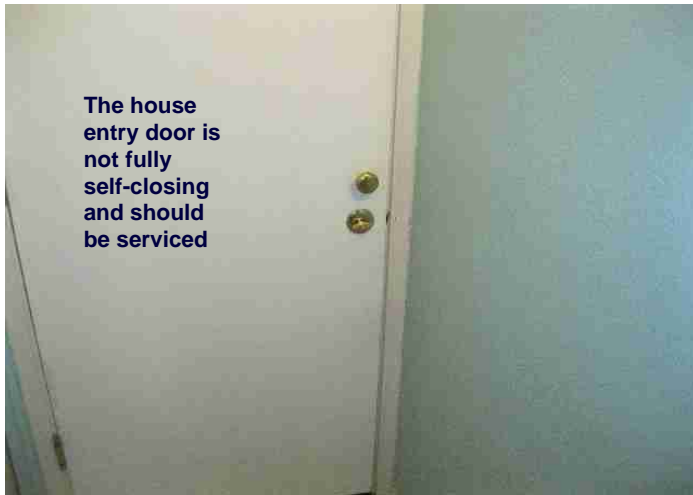
17.3 - m The walls are sheathed and in acceptable condition.

Entry Door Into the House

Components and Conditions Needing Service

17.4 - v The house entry door is not fully self-closing, and should be serviced. (SAFETY ASPECT)

The house entry door is not fully self-closing and should be serviced - *Continued*



Garage Side Door

Informational Conditions

17.5 - m The side door is functional.

Garage Door & Hardware

Informational Conditions

17.6 - m The garage door and its hardware are functional.

Automatic Opener

Informational Conditions

17.7 - m The garage door opener is functional.

Lights

Informational Conditions

17.8 - m The lights are functional, and do not need service at this time.

Outlets

Informational Conditions

17.9 - m The outlets that were tested are functional, and include ground-fault protection.

Pool/Spa

Pool & Spa

General Comments

Informational Conditions

18.1 - m The interior finish of pools and spas is rarely perfect and rarely remains so, and particularly those on pools with colored plasters, and certainly if the chemical balance of the water is not properly maintained. Also, calcium and other minerals will have a tendency to leech through the material and mar the finish. This is equally true of pool tiles, on which mineral scaling is not only common but difficult to remove. Even the harshest abrasives will not remove some scaling, which sometimes has to be removed by bead-blasting, which in turn reduces the luster of the tiles. However, such imperfections

have only a cosmetic significance. Similarly, the decks around pools and spas tend to develop cracks that have only a cosmetic significance. The commonest are relatively small, and are often described as being curing fractures. Some of these will contour the outline of the pool, or the point at which the bond beam, or structural wall of the pool, meets the surrounding soil. These too have little structural significance, but some cracks are larger and result from seismic motion, or from settling due to poorly compacted soils, or they confirm the presence of expansive soils, which can be equally destructive, but which should be confirmed by a geo-structural engineer. However, any crack in the shell of a pool or spa should be dye-tested or otherwise evaluated by a specialist.

Enclosure Safety Observations

Informational Conditions

18.2 - m The pool enclosure is currently compliant with common safety standards, which typically mandate a forty-eight inch enclosure, measured on the side away from the water, so that a toddler could not simply push open an unlatched gate.

Pool & Spa Observations

Informational Conditions

18.3 - m The pool and spa are reasonably level, as is evident from the water line on the tiles.

Components and Conditions Needing Service

18.4 - v The pool and spa are old and in poor condition, and you should have them evaluated by a pool and spa specialist with a view to having them renovated.



Interior Finish

Components and Conditions Needing Service

18.5 - v The interior finish is plaster, which has cosmetic damage commensurate with its age, such as roughness, discoloration, pockmarks, or small cracks that you should view for yourself, but which you may wish to have a pool specialist evaluate.

18.6 - v The interior finish is old and in poor condition, and ready to be renovated.

Deck & Coping Stones

Informational Conditions

18.7 - m Sections of the deck have typical cracks or cosmetic defects, but no serious damage.

Expansion Joint

Informational Conditions

18.8 - m The expansion joint is in good condition.

Skimmer

Informational Conditions

18.9 - m The skimmer box and its cover are functional.

Tiles

Components and Conditions Needing Service

18.10 - v There is scaling, or a build-up of minerals, on the tiles, which is predictable and somewhat unavoidable, but periodical tile cleaning will inhibit the scaling.

Suction Line Covers

Informational Conditions

18.11 - m There are either two suction line covers in the spa, or one that is an anti vortex and child-safe type.

Pool Light

Components and Conditions Needing Service

18.12 - v The pool light did not respond, and should be serviced, confirmed to have ground-fault protection.

However, for reasons of safety, the circuit should be tested periodically to ensure that its ground fault protection is functional.



Pool-Spa Motors

Informational Conditions

18.13 - n The pool motor is a functional newer type with a weather-resistant plastic casing.

Spa Blower

Components and Conditions Needing Service

18.14 - v National electrical standards require the metal blower in the equipment area to be attached to a common bonding wire that conveys errant electricity harmlessly to ground, which we recommended as a safety upgrade.



18.15 - ✓The blower did not respond to its controls, and should be serviced.



Supply & Return Lines Etc

Informational Conditions

18.16 - nThe visible portions of the supply and return lines and their valves are in acceptable condition.

Filter

Informational Conditions

18.17 - nThe filter is functional.

Components and Conditions Needing Service

18.18 - ✓The pressure on the filter gauge is high, which usually indicates that the elements within the filter need to be cleaned.

High pressure on the gauge indicates that the filter needs to be cleaned - *Continued*



Heater

Components and Conditions Needing Service

18.19 - √The pool/spa heater has been shut down at the unit. It should be serviced and demonstrated by a pool specialist.

18.20 - √The heater is not raised to prevent moisture and debris contamination, but not the recommended height of three inches above the surrounding grade, which you may wish to view for yourself before deciding to take further action.



Electrical Issues

Informational Conditions

18.21 - mThe outlets in the general vicinity of the pool and spa are functional.

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Invoice No. 1498

3/25/15

Client:

Your Name Here

Client's Agent:

Your Name Here

Inspection Address:

399 N Doeskin Place
Tucson, AZ. 85748

Inspection Date/Time:

8/9/2014
8:00 am-10:30 am

399 N Doeskin Place

310.00

Total Due: \$ 310.00

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Email Address: homesweethomeinspections@yahoo.com

Wednesday, March 25, 2015

Property Address: 399 N Doeskin Place, Tucson, AZ 85748
Inspection Date: 8/9/2014 Time: 8:00 am to 10:30 am

Dear Your Name Here:

Thank you for hiring Home Sweet Home Inspections to be of service. We hope that you were pleased with the quality of our service, and that you would recommend us to others. Please read the report carefully, and call us with any questions that you might have. We remain your consultant indefinitely, and would be happy to assist you in any way that we can. We sincerely hope that you and your family will be happy and healthy in your new home.

Sincerely,

Mark
(520) 240-8521